



## Industrial Unit **TO RENT**



### Unit 3, Thistle Business Park, Showground, Bridgwater, TA6 6LS.

- Mid-terraced unit.
- Ground Floor accommodation 1,365 sq ft / 126.79 sq m.
- First Floor accommodation 1,144 sq ft / 106.24 sq m
- Total accommodation 2,509 sq ft / 233.03 sq m.
- Frontage yard for parking and loading.
- New lease – £15,000 per annum / £1,250 per month.

Contact: Tony Mc Donnell MRICS

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Email: [tony@cluff.co.uk](mailto:tony@cluff.co.uk)

## LOCATION

Thistle Business Park is located within The Showground development adjacent to the A38, that links the town of Bridgwater to the immediate north with J24 of the M5, located approx. 1 mile journey to the south of the business park.

## DESCRIPTION

Unit 3 is a mid-terraced unit, set within a terrace of similar units, benefitting from three phase electricity, mains water, gas and drainage. Frontage roller shutter door and a mezzanine first floor.

The unit also provides a WC, an office and a kitchenette area.

The unit is of steel portal frame construction under an insulated roof. The minimum eaves height within the unit is approx. 4.65 m, rising to 5.70 m.

The unit has a concrete floor and a frontage pedestrian entrance doorway. Frontage roller shutter door – approx. height 3.0 m and width 2.95m.

There is an external yard area suitable for parking and loading at the front of the unit.

## ACCOMMODATION

### Unit 3:

Ground Floor:	1,365 sq ft / 126.79 sq m
Mezzanine:	1,144 sq ft / 106.24 sq m
<b>Total Accommodation</b>	<b>2,509 sq ft / 233.03 sq m</b>

## BUSINESS RATES

Rateable Value of £15,000 per annum from 1<sup>st</sup> April 2026.

Interested parties should make their own enquiries with the Local Authority to ascertain the rates payable.

## RENT

**£15,000 per annum.** Unit 3 is available via a new lease for a term of 5 or 6 years or by negotiation. Rents are exclusive of VAT. Three months' rent deposit is required. Full terms on application.

## EPC RATING

Rating of C61.

## LEGAL COSTS

Each party will be responsible for their own legal costs incurred.

## INTEREST – Please contact:

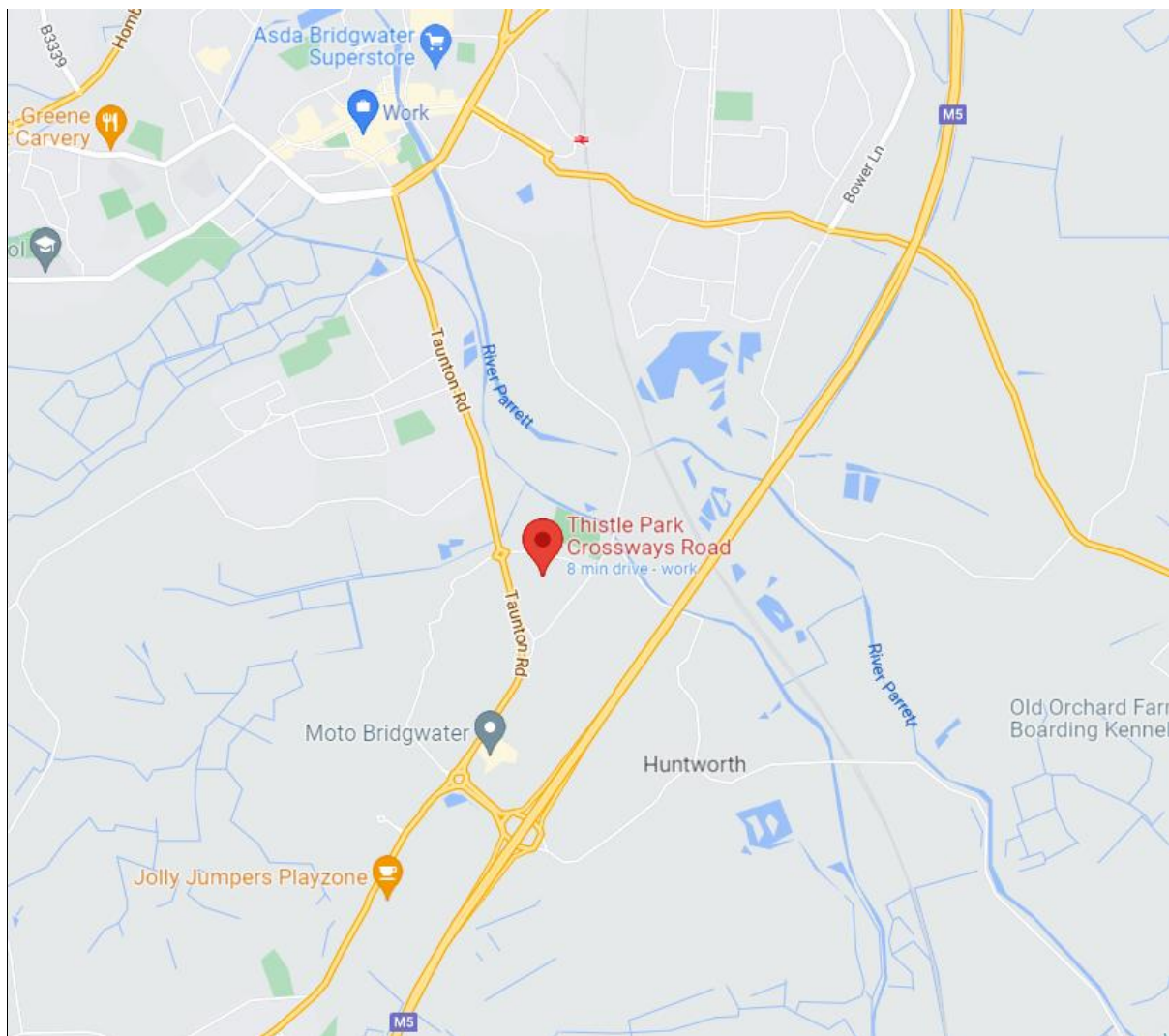
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These particulars do not constitute any offer or contract and although they are believed to be correct their accuracy cannot be guaranteed and they are expressly excluded from any contract.

## LOCATION PLAN –



**INTERESTED?** Please contact:

**Tony Mc Donnell MRICS**

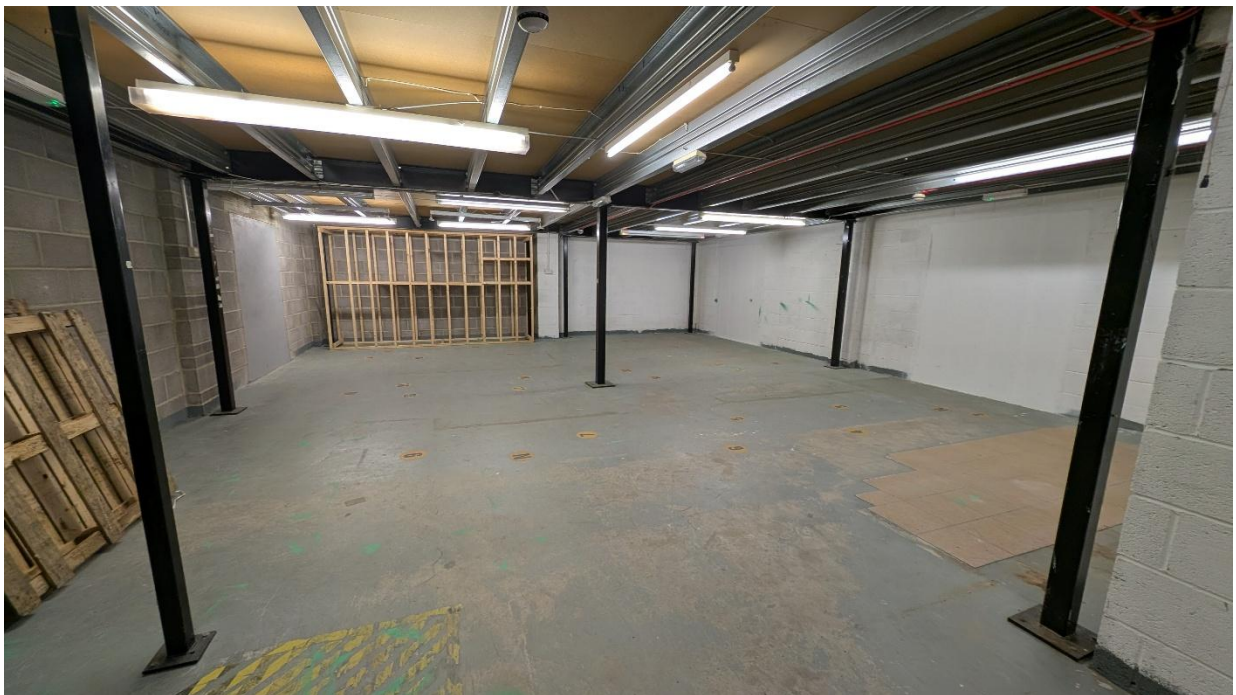
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### Internal Photographs:









Mezzanine shown.





Ground floor office room shown below.

